



DESIGN AND ACCESS STATEMENT

(Revision B)

**IN SUPPORT OF RESIDENTIAL DEVELOPMENT ON LAND TO THE NORTH OF RUFFA LANE,
PICKERING**

CO-ORDINATES OF PROPOSED DEVELOPMENT:

X 480935 Y 483791

Our Ref: 74181

August 2017

DESIGN AND ACCESS STATEMENT

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1.0 Introduction

- 1.1 This Design and Access Statement (DAS) has been prepared on behalf of Toft Hill Ltd by AAH Planning Consultants in support of a planning application for residential development including access on land to the north of Ruffa Lane, Pickering (grid reference: X480935; Y483791). The application is made by Toft Hill Ltd. AAH Planning Consultants are members of the Royal Town Planning Institute (RTPI) and the Institute of Environmental Management and Assessment (IEMA).
- 1.2 This DAS provides an overall assessment of the proposed development; identifies the design parameters and principles and sets out our analysis of the relevant planning policy principles. This statement should be read in conjunction with the accompanying Planning Supporting Statement.
- 1.3 National Planning Policy Guidance (NPPG) published in March 2014 states the purposes of a DAS in Paragraph 029 (*Reference ID: 14-029-20140306*):

“They provide a framework for applicants to explain how the proposed development is a suitable response to the site and its setting, and demonstrate that it can be adequately accessed by prospective users. Design and Access Statements can aid decision-making by enabling local planning authorities and third parties to better understand the analysis that has underpinned the design of a development proposal.”

- 1.4 The NPPG further clarifies what should be included in a DAS accompanying an application for planning permission within Paragraph 031 (*Reference ID: 14-031-20140306*):

“A Design and Access Statement must:

- (a) explain the design principles and concepts that have been applied to the proposed development; and*

(b) demonstrate the steps taken to appraise the context of the proposed development, and how the design of the development takes that context into account.

A development's context refers to the particular characteristics of the application site and its wider setting. These will be specific to the circumstances of an individual application and a Design and Access Statement should be tailored accordingly.

Design and Access Statements must also explain the applicant's approach to access and how relevant Local Plan policies have been taken into account. They must detail any consultation undertaken in relation to access issues, and how the outcome of this consultation has informed the proposed development. Applicants must also explain how any specific issues which might affect access to the proposed development have been addressed"

- 1.5 In March 2017, a written representation was made to Ryedale District Council as part of the pre-application process to help inform the emerging proposal, and to seek the Council's view on the principle of housing development on this site. Following the meeting with the officers on 17/05/2017, a written pre-app response was provided by the Council. A copy of the pre-app response can be seen in Appendix I of this statement. This statement should be read in conjunction with other supporting documents and planning drawings accompanying this application.

2.0 Design Principles

Site and Surroundings

- 2.1 The application site is located to the eastern end of Ruffa Lane on the northern side of the highway. Ruffa Lane is a long straight residential road with housing on either side. On the northern side the housing is mostly linear frontage housing – brick built and predominantly two storey in scale. On the southern side the housing extends from Ruffa Lane to the south to Thornton Road and is a combination of single storey, two storey and dormer bungalows. Immediately to the south of the site is a new residential development known as Shepherds Hill which includes mostly two storey brick built development.

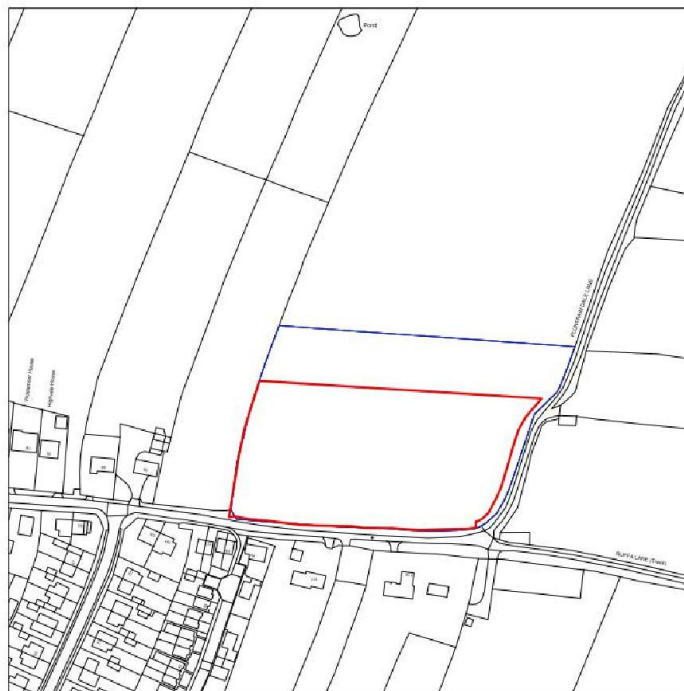


Image 2.1: Application Site (area edged in red) and its Neighbouring Area

- 2.2 The application site situate at the most easterly end of Ruffa Lane, a long residential carriageway taken from Malton-Whitby Road (A169), with significant number of residential dwellings on either sides. On the northern side the housing is mostly linear frontage housing – brick built and predominantly two storeys in scale. On the southern side the housing extends from Ruffa Lane to the south to Thornton Road and is a combination of single storey, two storey and dormer bungalows. Immediately to the south of the site is a new residential development which was recently developed under to the planning permission 13/00065/FUL). The area west of Whitfield Avenue and Ruffa Lane and Thornton road leading back to Pickering town centre is almost exclusive residential. The area is typical of urban expansion undertaken gradually since the Victorian era.
- 2.3 To the north and east of the application site the rural character takes hold with the highway bordered by maturing hedgerows and extending into open countryside. This is classed as Moorland Fringe and is allocated locally as an Area of Great Landscape Value with the North York Moors National Park boundary being positioned only 650 m away.
- 2.4 The public highway narrows along Ruffa Lane though it appears to have been widened parallel with the application site to allow for the new housing development to the south. Further east it continues to narrow and a public footpath/bridleway extends toward Howl Dale Wood where the National Park boundary begins. A Further right of way extends to the north along the site’s eastern boundary along an informal track known as Pluntrain Dale Lane which extends northwards to Scalla Moor Farm at the A19 junction.
- 2.5 Although the site is situated beyond the settlement boundary of Pickering, it lies within easy cycling distance of the whole range of facilities available in Pickering town centre and within walking distance of local primary school, major employment area within the town, and bus stopes providing links to the town centre.

3.0 Planning Policy Context

- 3.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the local planning authority to determine planning applications in accordance with the Development Plan, unless there are material considerations which 'indicate otherwise'.

Development Plan

- 3.2 Section 70(2) of the Town and Country planning Act 1990 provides that in determining applications the Local Planning Authority (LPA) "shall have regard to the provisions of the Development Plan, so far as material to the application and to any other material considerations." In this respect, the development plan for Ryedale District consists of The Ryedale Plan – Local Planning Strategy adopted on 5th September 2013, Ryedale Local Plan (2002) Saved Policies, the adopted proposal maps for the district and towns (2002), and saved policies within the Yorkshire and Humber Regional Spatial Strategy (RSS). The Yorkshire and Humber Regional Spatial Strategy (RSS) has been revoked (2013) except for two policies and key diagram which relate to the extent of York's Green Belt. In this instance, none of the remaining saved policies of the Yorkshire and Humber RSS are considered to be relevant to the assessment of this application.
- 3.3 The Ryedale Plan – Local Plan Strategy (LPS), provides recently adopted development plan policies which are compliant with the NPPF. The current Proposal Map is the 2002 adopted Proposal Map. The LPS contains strategic policies to manage development and growth across Ryedale to 2027. It seeks to integrate the need to address development needs whilst protecting the environment and landscape and securing necessary improvement to services and infrastructure.
- 3.4 The following policies from the Ryedale Local Plan Strategy are considered to be relevant to the determination of this application for residential development at this site:

Policy SP3 – Affordable Housing
Policy SP4 – Type and Mix of New Housing

- Policy SP11 – Community Facilities and Services (In respect of public open space)
- Policy SP13 – Landscapes
- Policy SP14 – Biodiversity
- Policy SP15 – Green Infrastructure Networks
- Policy SP16 – Design
- Policy SP17 –Managing Air Quality, Land and Water Resources
- Policy SP18 – Renewable and Low Carbon Energy
- Policy SP19 – Presumption in Favour of Sustainable Development
- Policy SP20 – Generic Development Management Issues
- Policy SP22 – Planning Obligations, Developer Contributions and the Community Infrastructure Levy

3.5 The following extract is taking from the Proposals Map, Inset No.4 - Pickering, which was adopted in 2002 with the Ryedale Local Plan.

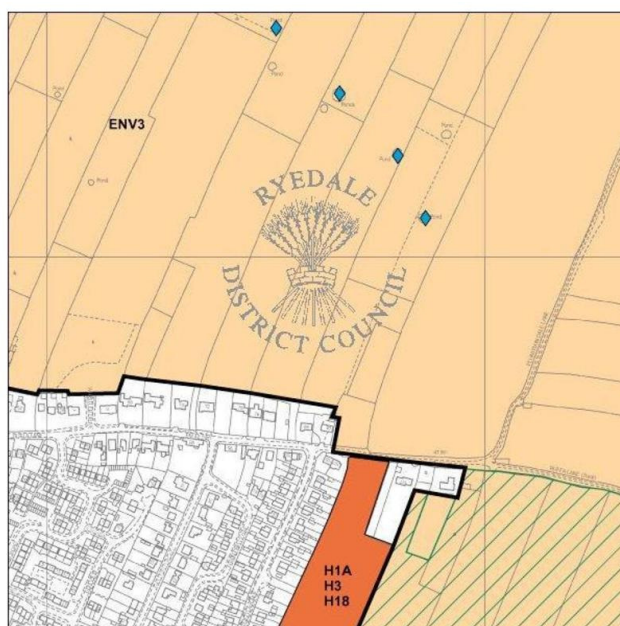


Image 3.1: Proposals Map Extract: Inset 4 Pickering

3.6 Image 3.1 illustrates that the site is situated adjacent to the development limits of the Pickering, lies directly opposite new housing estate to the south of Ruffa Lane.

- 3.7 The site lies outside the defined development limits of the town and is therefore located within the open countryside, which in normal circumstances in accordance with policies of the local plan, the development of the site for residential purposes would be contrary to the policies of the Development Plan.

National Planning Policy framework (NPPF)

- 3.8 Notwithstanding the above, in order to help with boosting the supply of housing, the NPPF requires Local Planning Authorities (LPAs) to identify and keep up-to-date a deliverable five year housing land supply. This is particularly important given that the NPPF states that where relevant policies are out-of-date, permission should be granted unless any adverse impacts outweigh the benefits, or other policies indicate otherwise, when assessed against the NPPF (Paragraph 10).

- 3.9 The NPPF makes it clear in Paragraph 14 that in cases where the:

“Development Plan is absent, silent or relevant policies are out-of-date, granting permission unless:

- *Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole; or Specific policies in this Framework indicate development should be restricted.*

- 3.10 At the heart of the NPPF is a presumption in favour of sustainable development. Paragraph 7 of the NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental. *“These dimensions give rise to the need for the planning system to perform a number of roles:*

- *an economic role – contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth and innovation; and by identifying*

and coordinating development requirements, including the provision of infrastructure;

- ***a social role** – supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community’s needs and support its health, social and cultural well-being; and*
- ***an environmental role** – contributing to protecting and enhancing our natural, built and historic environment; and, as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigate and adapt to climate change including moving to a low carbon economy.”*

3.11 In terms of housing delivery, paragraph 49 of the NPPF provides that housing applications should be considered in the context of the presumption in favour of sustainable development, and that relevant policies for the supply of housing should not be considered up-to-date if the local planning authority cannot demonstrate a five-year supply of deliverable housing sites.

It is worth noting that the paragraph 49 comes within a group of paragraphs dealing with delivery of housing. The context is given by paragraph 47 which sets objective of boosting the supply of housing, which states:

To boost significantly the supply of housing Local Planning Authorities should:

- *Use their evidence base to ensure that their Local Plan meets the full, objectively assessed needs for market and affordable housing in the housing market area, as far as is consistent with the policies set out in this Framework, including identifying key sites which are critical to the delivery of the housing strategy over the plan period;*
- *Identify and update annually a supply of specific deliverable sites sufficient to provide five years’ worth of housing against their housing requirements with an additional buffer of 5% (moved forward from later in the plan period) to ensure choice and*

competition in the market for land. Where there has been a record of persistent under delivery of housing, local planning authorities should increase the buffer to 20% (moved forward from later in the plan period) to provide a realistic prospect of achieving the planned supply and to ensure choice and competition in the market for land;

- *Identify a supply of specific, developable sites or broad locations for growth, for years 6-10 and, where possible, for years 11-15;*
- *For market and affordable housing, illustrate the expected rate of housing delivery through a housing trajectory for the plan period and set out a housing implementation strategy for the full range of housing describing how they will maintain delivery of a five-year supply of housing land to meet their housing target; and*
- *Set out their own approach to housing density to reflect local circumstances.*

3.12 One of the twelve Core Planning Principles outlined within the NPPF is that planning should “*always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings*”. Section 7 of the NPPF refers to the requirement for good design. Paragraph 56 states that: “*The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.*”

3.13 Paragraphs 63 and 64 are considered to be particularly pertinent with regards to this proposed scheme and its design:

“In determining applications, great weight should be given to outstanding or innovative designs which help raise the standard of design more generally in the area.”

“Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it function.”

4.0 Evaluation: Constraints and Opportunities

The Design Process

- 4.1 As previously identified, the main purpose of this Design and Access Statement is to identify the design parameters and principles of future developments. It is therefore important to consider the constraints and opportunities, arising from the prospective development of the site, and how the proposed development would satisfy these criteria.

Constraints

- 4.2 The evaluation of the site and its context has identified key on site features which have informed the decision making process and the development proposals. In summary, the site has very few physical constraints which would preclude the development of the site for residential development. Those that do exert influence are as follows:

- Ruffa Lane is characterised by ribbon development, which is not a development form which is considered the appropriate in terms of efficient use of land and inclusive layout.
- The sloping nature of the site would potentially affect the key characteristic features of this part of Pickering, which include:
 - Panoramic views from the escarpment ridge out across the Vale of Pickering to the South
 - Attractive rural quality with a medium to large scale field mosaic containing prominent hedgerows and woodland blocks
 - Settlements concentrated along the foot of the slope
 - Dynamic, rhythmic quality to the undulating relief
 - North south oriented dry valleys and road; and

- Strong medieval field pattern around Pickering
- Whilst the field the application site lies within is not identified as being part of the historic strip field system, it has a strong linear form and contribute significantly to the landscape character of this part of Pickering through the presence of mature hedgerows, and its sloping form, which also has some undulating relief.
- Safeguarding of residential amenity, in particular, distance standards between the proposed development and the existing properties to the south and southwest;
- Consideration of views from the neighbouring dwellings opposite the application site;
- Consideration of the potential visual and aesthetic impacts on the adjoining North York Moors National Plan and the designated High Value Landscape Area; and
- Consideration of other issues such as flood risk/drainage, ecology of the site and how to minimise any potential impacts.

Opportunities

4.3 The site provides an excellent opportunity to provide good quality housing and affordable housing which integrate well within this existing residential area. The following are considered to be opportunities arising from the development of the site:

- Contribution to the expansion of the existing settlement through the introduction of much-needed residential properties and affordable housing in a sustainable location;
- Respond to, complement and enhance the local built character;
- Improve the ecological value of the site;
- Other social, economic and environmental benefits to Pickering.

Design Objectives

- 4.4 After taking into account national guidance and, where relevant, the local planning policy framework, the proposals will seek to achieve a high standard of residential development. The overall approach will be to apply design proposals which can be sensitively assimilated into the area, taking into account, where necessary, adjacent land uses and developments, which are generally residential and agricultural in this case. The key aim is to provide a high quality development which will deliver a mixture of housing that is sustainable, safe, attractive and accessible by all users.
- 4.5 The key design objectives which have been taken account of within the illustrative master plan are as follows:

Character and Context

- Respond to the existing character of local land uses and developments, whilst still creating architectural and urban design that will have a sense of place in its own right;
- Incorporate the topographic character of the site into the proposed design and layout, to minimise the impact of the proposed development on the setting of the neighbouring area and wider landscape.

Ease of Movement

- Ensure the proposed site access and the section of Ruffa Lane adjacent to the application site in accordance with relevant highway design standards
- Ensure easy access for pedestrians and cyclists to both public transport links and the wider surrounding areas;
- Achieve access for all age groups and abilities as an integral part of the design.
- Utilise and re-enforce existing connections, whilst providing choice of movement.

Legibility and Diversity

- Establish a site arrangement where design character defines the space;
- Establish a site arrangement that respects and reflects the key local landmarks;

Variety and Richness

- Promote quality detailed design with durable materials that enliven the locality;
- Ensure variety of detail and materials, whilst still maintaining a coherent overall sense of place within the community.
- Offer a variety of dwelling types to reflect local character and offer choice;

Compactness

- Ensure the development uses land efficiently;
- Provide appropriate flexible parking without overly encouraging greater vehicle numbers.

Climate Change

- To promote sustainable development and reduce energy consumption whilst respecting and balancing the needs of local character and heritage.

5.0 Design Proposals

5.1 Having identified the design objectives and, importantly, considered the constraints and opportunities of the site, plans were produced which explored the most appropriate form of development that respected the scale and form of the surrounding built environment and the neighbouring residential buildings. The proposed indicative layout is shown in the following image:



Image 5.1: Proposed Indicative Site Layout

5.2 The justification for these design proposals are highlighted in this section with regard to use and amount, scale and layout, appearance and landscaping, access, parking,, neighbour amenity, climate change mitigation, and designing out crime. Such an approach is considered to ensure that the principles of Ryedale Local Plan Strategy *Policy SP16 Design* and *SP20 Generic development Management Issues* underpin the proposals.

Use and Amount

- 5.3 The existing site for the proposed development lies at the junction of Ruffa Lane and Pluntrain Dale Lane, to the east of Pickering. Ruffa Lane is a long straight residential road with housing on either side. On the northern side the housing is mostly linear frontage housing – brick built and predominantly two storeys in scale. On the southern side the housing extends from Ruffa Lane to the south to Thornton Road and is a combination of single storey, two storey and dormer bungalows. Immediately to the south of the site is a new residential development known as Shepherds Hill which includes mostly two storey brick built development. The site itself is currently an agricultural field of approximately 1.08 ha.
- 5.4 Although the application site is situated outside the development limits of Pickering (see proposals map), it is ideally placed to be used as a residential land use being a logical extension of the settlement. The application proposes a high quality residential development with areas of landscaping and public open space, new access and associated infrastructure. The housing development will comprise a mix of dwelling types which will include a 35% to 40% provision of affordable housing in accordance with Ryedale Local Plan Strategy Policy SP3.
- 5.5 The proposal aims to strike a balance between the provision of housing with sufficient parking, amenity space, landscaping and the preservation of the existing key features of the site. The site has a total area of approximately 1.08 hectares; however it is considered that only the front portion of site would be suitable to accommodate new development after taking the existing building line on the north side of Ruffa Lane into consideration. As illustrated in the indicated site layout plan, up to 30 dwellings are to be provided within the front element of the application site, with the provision of open spaces and landscaping to the rear. The proposed indicative layout and associated density is considered to be appropriate as it reflects the local character, in particular along the north side of Ruffa Lane. The proposals provide for a mix of housing types and use the land most efficiently based on the topography of the site, whilst respecting key views and landmarks.

Scale

- 5.6 The scale of the proposed scheme will be considered at the reserved matters stage however, it is envisaged that the proposed dwellings will be conventional two-storey dwellings or dormer bungalows. The proposed development will provide for a mixture of housing ranging from 2 bedrooms to 4 bedrooms properties and up to 40% of the proposed dwellings will be affordable housing.

Layout

- 5.7 An indicative site master plan has been prepared to accompany this outline application, which illustrates how the proposed development could be accommodated on the site. The proposed design responds to the physical characterises of the area as well as various opportunities and constraints presented by the site as detailed previously. This application is submitted in outline with all matters reserved except for site access. The proposed site layout, the number of dwellings and the design details will be submitted at reserved matters application stage. That said, it is considered that the proposed indicative layout (see Image 5.1 previously) provides for a scale and layout that achieves a balance that takes account of the sites topography, neighbouring properties and land uses, relationship to the existing building line and development patterns of the neighbouring area, and the character of the wider High Quality Landscape Area and National Park.

Topographical Constraints

- 5.8 The following image shows the proposed site boundaries on a topographical map, with the green indicating lower topography, through yellow to red indicating the higher topography.

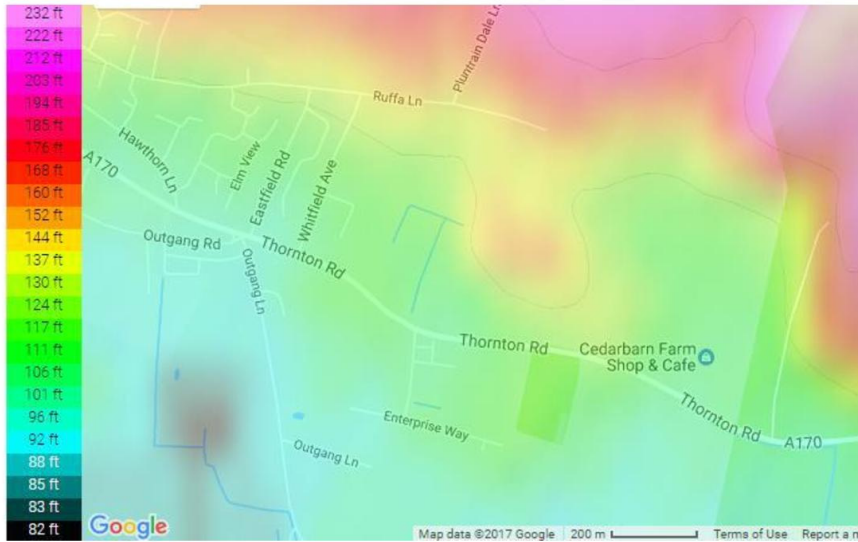


Image 5.2: Topographical Site Location Plan

5.9 As illustrated above, by providing for a linear loop style layout that fronts Ruffa Lane, the proposed development would utilise the lower topography to the south of the site; therefore ensuring the resulting earthworks are minimised and that it does not overly dominate the neighbouring properties, detract from the local character and maintains key views and vistas as indicated below:

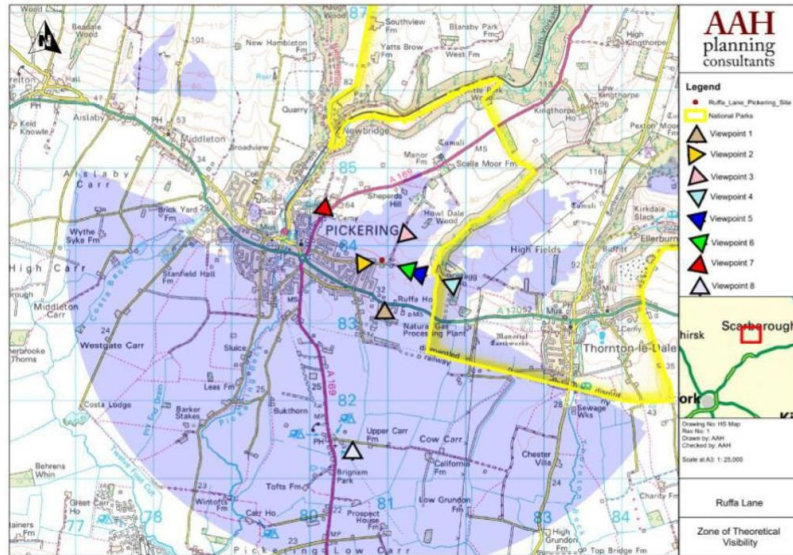


Image 5.3: Consideration of Key Views



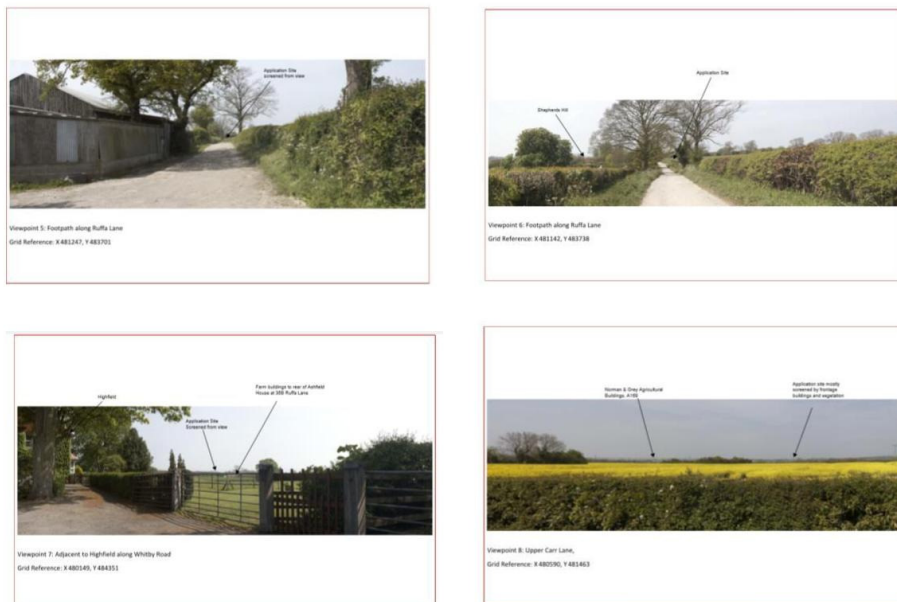


Image 5.4: Images of key views towards the application site

5.10 As can be seen the Landscape Visual Impact Assessment concluded that only utilising the southern portion of the field, the proposal site, would maintain the key views and vistas that contribute to the character of the local area and a wider landscape on the eastern side of Pickering.

Heritage Constraints

5.11 Within Pickering, Pickering Castle is the most important heritage asset (Scheduled Ancient Monument) and is also a tourist attraction within the town. Pickering Castle is an important example of a major early motte and bailey castle which developed into an equally important shell keep castle whose administrative and economic significance lasted throughout the Middle Ages and its judicial role lasted into the post-medieval period. It is well-documented and its standing remains are particularly well-preserved owing to its being one of only a few castles unaffected by the Wars of the Roses and the Civil War of the 17th century. The findings of the LVIA indicate that the castle itself lies entirely outside of the ZTV coverage and subsequently there would be no magnitude of effect from this heritage receptor.

5.12 In terms of listed buildings, there are over 200 in Pickering however these are mostly concentrated in the town centre and along the A170. The majority are grade II, with the exception of the Beck Isle Museum (grade II*) and the Parish Church of St Peter and St Paul (grade I) – these would all remain unaffected by the proposed development due to the intervening buildings. The closest listed building is Town End Cottage which is a grade II listed building located along Eastfields over 400m to the south west of the application site. This is a C18 farmhouse which is now subdivided into 2 occupancies. It is 2-storey in painted brick, rendered to right and finished with a Pantile roof with 3 brick stacks. Due to the location of the modern suburban housing along Eastfields and Whitfields Avenue the proposals would result in no magnitude of impact from the proposed development.

5.13 Overall it is clear that the proposed development would result in no material impact on any heritage receptor within the study area. More distant views may be possible from isolated heritage receptors beyond a 2km study area such as from the grade II California Farm property which falls within the ZTV coverage and from where distant expansive views to Pickering can be achieved. Yet at such distance any view would represent a very minor change in the view and would equate to a negligible magnitude of effect at worse.

Ecological Constraints

5.14 Policy SP14: Biodiversity requires that the biodiversity in Ryedale is conserved, restored and enhanced, listing a number of considerations which need to be taken as part of any proposal. The following map which is appended in full at Appendix A identifies the location of the development in relation to nearby ecological constraints:

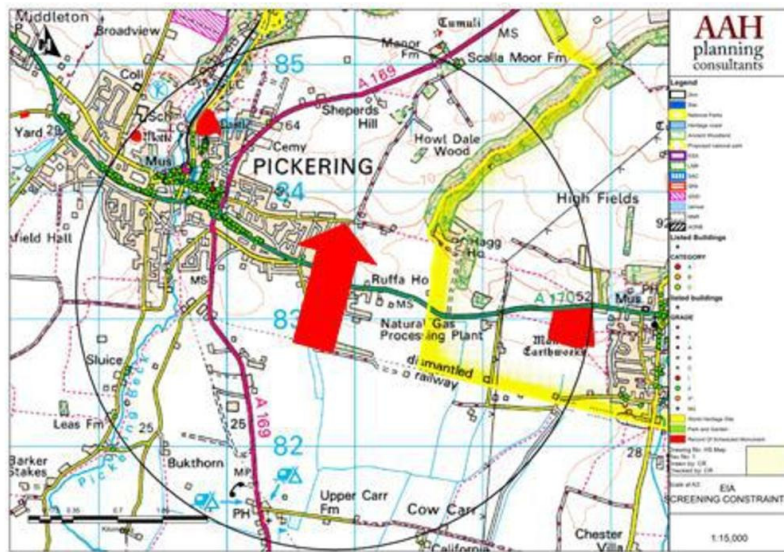


Image 5.5: Ecological Constraints Map

5.15 This map demonstrates that there are no nationally- or internationally-designated sites within 2km of the application. There are four locally-designated wildlife sites within 2km, also known as SINCs:

- Howl Dale Wood SINC
- Outgang Road pond and grassland SINC,
- Little Park Wood SINC,
- The Motte at Pickering Castle SINC

The nearest of these is the Howl Dale Wood SINC 600m to the east of the site. The site itself is an arable field bordered by hedgerows and maturing trees. The conservation and enhancement of the natural environment is a core principle of the NPPF, which seeks a level of protection for wildlife sites commensurate with their status and with appropriate weight to their importance and the contribution they make to wider ecological networks. Planning policies should promote the preservation, restoration and re-creation of priority habitats and ecological networks. In determining planning applications, permission should be refused if significant harm resulting from development cannot be avoided, adequately mitigated or, as a last resort, compensated for. The impact on ecological features within the wider area and the actual site will be a consideration.

5.16 In order to establish the ecological value of the site and the potential impact of the proposed housing development on the protected species and their habitats, an ecological appraisal for the site was undertaken by QUANTS Environmental Ltd. The findings of the site survey and desktop research indicate that the site is of low ecological value, and the key ecological considerations are the hedgerows, Great Crested Newts, bats and nesting birds. The Ecological Appraisal report concludes all the identified features can be sufficiently mitigated through the approval measures recommended in the report and no further site based assessments would be required.

Scale

5.17 As this application is submitted in outline with only access reserved, the precise details of the scheme would come forward through an application for reserved matters. This would ensure that the council have full control over the finer details of the scheme including layout, scale, form and appearance of the resulting dwellings. Nevertheless, indicative drawings have been provided as a means of illustrating what could be achieved, not what will be achieved.

5.18 Any proposed scheme would be able to draw from the scale and architectural vernacular of buildings within Pickering; particularly those on either side of Ruffa Lane as illustrated by Image 5.6 below, with a variation of height and detailing to reflect the topographical character of the site:



Image 5.6: Properties along Ruffa Lane (Source: Google Streetview)



Image 5.7: New housing development at Shepherds Hill, off Ruffa Lane

- 5.19 The range of gable and roof heights and the overall size of properties allows for a scheme with a range of options that can reflect local character, maintain key views and vistas and ensures the scale and massing of the dwellings does not dominate.

Appearance and Landscaping

- 5.20 The proposed dwellings are to be a mix of detached and semi-detached bungalows and one and a half storey properties, with a mix of gable heights reflecting the adjacent properties to the south and west of the site along Ruffa Lane; as previously illustrated by Image 5.6 and 5.7. In respect to their appearance, the existing mix of traditional and modern properties within the vicinity will influence the design of the proposals at the reserved matters stage.
- 5.21 Further architectural styles to be drawn upon can be found continuing north of the site along Money Hill as illustrated below:
- 5.22 As can be seen there are a mix of traditional vernacular architecture combined with contemporary style and appearance. Any proposed scheme will reflect the local character through their design and choice of materials and colour. Again these will be considered and agreed at the reserved matters stage.
- 5.23 The site provides for suitable landscaping to be utilised to ensure that good standards of residential amenity for existing and future residents can be achieved. Landscape bunds through cutting into the existing site, similar to the adjacent properties along Ruffa Lane will ensure privacy from neighbouring properties. In addition, as previously stated, the existing hedgerows along the site boundary will be carefully retained to provide screening for the site and to form a part of the overall site landscape scheme.

Access

- 5.24 Paragraph 35 of the NPPF states that: *“developments should be located and designed where practical to create safe and secure layouts; which minimise conflicts between traffic, cyclists or pedestrians and to minimise the conflicts between traffic and pedestrians.”* Core Strategy Policy CP2 Access of the adopted Core Strategy supports this in that *“Convenient access via footways, cycle paths and public transport should exist or be provided, thereby encouraging the use of these modes of travel for local journeys and reducing the need to travel by private car and improving the accessibility of services to those with poor availability of transport.”*

5.25 Ruffa Lane is a single width track that is currently used by residents, commuters and agricultural traffic.



Image 5.8: Ruffa Lane (Looking towards the application site)

5.26 The existing gated access, situated at the southwest corner of the application site, will be utilised to form a pedestrian access to the site. Further, a new single vehicular access point onto Ruffa Lane will be formed and designed in accordance with the highway standards. Further details of the proposed accesses and internal site layout are set out within the accompanying Transport Assessment. The Transport Assessment submitted with this planning application demonstrates that there is sufficient capacity on the local highway network to accommodate the number of vehicular movements, estimated to be generated by the proposed development without giving cause to any adverse impacts on capacity or road safety.

Neighbour Amenity

5.27 The indicative proposed site layout shows that good standards will be achievable in terms of privacy, daylight and outdoor space. A linear arrangement fronting the highway ensures that privacy can be ensured for both existing and future residents.

Climate Change Mitigation

- 5.28 Paragraph 93 of the Planning Practice Guidance (PPG) states “planning plays a key role in shaping places to secure radical reductions in greenhouse gas emissions, minimising vulnerability and providing resilience to the impacts of climate change, and supporting the delivery of renewable and low carbon energy and associated infrastructure. This is central to the economic, social and environmental dimensions of sustainable development.”
- 5.29 At this stage the application is submitted in outline only; therefore the precise details, form and appearance of the scheme is not agreed. Discussions will need to take place with the Council over these details and how far measures that take into account climate change are adopted in the design. These measures will need to have special regard to the site’s location and the character of the local area. As such, early engagement would be undertaken with the council to consider the most appropriate solution for the proposal. Notwithstanding this, the dwellings will be designed and constructed in accordance with the Building Regulation Standards. Provision will also be made for waste and recycling facilities for the development and ensure that space is accommodated for cycle parking within the final design.

Designing Out Crime

- 5.30 Paragraph 58 of the NPPF requires that new development create safe and accessible environments where crime, disorder and the fear of crime, do not undermine quality of life or community cohesion.
- 5.31 The indicative layout shows that the new dwellings can be arranged where possible such that their primary elevations face the proposed estate roads. This relationship maximises active frontages adjacent to the road and provides a continuity of street frontages throughout the site, ensuring that the user routes are overlooked by active windows. This encourages movement throughout the site providing natural surveillance, which in turn encourages activity and helps to reduce the risk of crime.
- 5.32 Where possible the rear gardens of the proposed dwellings are to be enclosed with interlocking 1.8 metre high fences or an alternative form of boundary treatment to be

agreed as part of a reserved matters application, thereby helping to lower the risk of crime by reducing the ability to access private gardens from outside the plot.

- 5.33 The layout has had regard to the PRoW to the east of the site (Pluntrain Dale Lane). The indicative layout illustrates that the scheme will result in a better surveillance of the PRoW which has the potential to increase its attractiveness to the community.

6.0 Summary

- 6.1 The DAS has identified the opportunities and constraints of the site and shown how these can be translated in to the overall design of the scheme taking in to account urban design principles. The proposed development would constitute sustainable development in a sustainable location that respects the existing character of the settlement. The proposal is for Outline Consent (with access), with all matters reserved. However, as can be seen, the proposed scheme would respond well to the constraints of the application site and its neighbouring area, and designed in line with the aims of relevant national and local planning policies and guidance.
- 6.2 On balance, it can be seen that this proposal will offer a quality development, contributing to a mix of housing stock within the vicinity in a manner that would complement and enhance the character and setting of the local area, whilst remaining compatible with the surrounding land uses. In particular, the proposals are considered to meet the following opportunities afforded by the site location: Contribution to the expansion of the existing settlement through the introduction of much-needed residential properties and affordable housing in a sustainable location; Respond to, complement and enhance the local built character; Improve the ecological value of the site; and Improve local access to a non-designated heritage asset.
- 6.3 Overall, it is considered that the proposed development accords with both national and local planning policies and it is advised that a grant of planning permission is justified.

APPENDIX I

Pre-app Response



Toft Hill Ltd
C/O AAH Planning Consultants (Mr R Walker)
2 Bar Lane
York
YO1 6JU

12 July 2017

Dear Sir/Madam

APPLICATION NO: 17/00314/PREAPP

DESCRIPTION: Proposal for residential development of approximately 30 dwellings

LOCATION: Land Off Ruffa Lane Pickering North Yorkshire

I refer to the material which has been submitted to date for the development of between 20 to 30 dwellings on land identified as Land off Ruffa Lane, Pickering. I also undertook a site visit on the 26 April 2017. A meeting took place with your colleagues and myself on the 17 May, and we discussed the principle of the development, and identified some more detailed considerations. The response from the Highways Authority was not available at that time, but this has now been provided. At the meeting you provided some indicative drawings, which I passed to the Highways Authority, and I indicated that should your client wish to provide further information, then I would wait for further information. Since nearly two months have passed, without further information, I now provide the response to the enquiry, since as discussed in the meeting I have reservations about the site's development in principle.

Your scheme is indicative but is for c.30 dwellings in land which is outside of the Development Limits of Pickering, within the Open Countryside and Fringe of the Moors Area of High Landscape Value. The land is rising, and there are topographical variations which mean the site is not capable of being read in context with the built form of Pickering. To the immediate south of the site is a single, one and half storey property and to the south, further to the west, is the extent of Pickering's built form, including the recently constructed scheme at Whitfield Avenue. None of the properties to the west are viewable from the eastern half of the site, but once within the site, on higher land some of the properties to the west are likely to be visible.

The key policy considerations are as follows:

Policy SP1- General Location of Development and Settlement Hierarchy- Pickering is a Local Service Centre, and a secondary focus for growth. Pickering is expected to have allocations at the town, which would cumulatively deliver at least 750 dwellings over the plan period (2027). Since the adoption of the Plan in 2013 a number of permissions have been granted and some of these completed. As such the site is on the edge of Pickering, and therefore is not contrary to Policy SP1.

Policy SP2- Delivery and Distribution of Housing- builds on the principles of SP1, and sets out the scenarios for residential development, for Pickering within the context of new build development outside of the Development Limits this includes:

- Allocations in and adjacent to the Built up area;
- Exception Sites- in line with SP3

In respect of this, the site (albeit in two different configurations) has been considered through the Site Assessment Process as part of the Development Plan. Neither configuration performed particularly well, on the basis of the landscape sensitivity and poor relationship with the built form of the town. Ruffa Lane is characterised by ribbon development, which is not a development form which is considered appropriate in terms of efficient use of land and inclusive layouts. The site is close to the built edge of Pickering, but is building upslope in a particularly visually prominent manner. As such, whilst the proposal is not contrary to

Policy SP2, there are sensitivities and concerns which are discussed when considering the policies below:

Policy SP13 - Landscape - The north of Pickering from the A170 is identified as being within the Fringe of the Moors Area of High Landscape Value, this is so identified for its natural beauty and scenic qualities. SP13 also recognises that as well as protecting the distinctive elements of the landscape character of these areas, there are particular visual sensitivities given the sloping topography, and the ability to achieve long-distance skyline views within Ryedale, and further a field. The features of this site are typical of the Landscape Character Assessment, which identifies the land as being part of the Linear Scarp Farmland. The key characteristic features are:

- Panoramic views from the escarpment ridge out across the Vale of Pickering to the South;
- Attractive rural qualities with a medium to large scale field mosaic containing prominent hedgerows and woodland blocks;
- settlements concentrated along the foot of the slope;
- Dynamic, rhythmic quality to the undulating relief;
- North south orientated dry valleys and road; and
- Strong medieval field pattern around Pickering.

Whilst this field is not identified as being part of the historic strip field system, it has a strong linear form, and contributes significantly to the landscape character of this part of Pickering through the presence of the mature hedgerows, and its sloping form, which also has some undulating relief. Despite its relative closeness to Pickering, the site displays a strongly rural character. Pickering, like other settlements, is concentrated on the foot of the slope, with development also extending northwards, where it follows the dale. The development of this site, even with the northernmost part of the site left for open space, I believe, would result in a discordant, prominent form of development, which would be viewable at distance, notably from the A170. I noted on site that if even the dwellings were single storey (as proposed they are two storey), they would result in skyline development, and would have a suburbanising effect on the currently rural edge to the Pickering. I am aware of the Persimmon development at Whitfield Avenue, and that development is more integrated into the existing built form. As such, I consider that any design configuration of the site would result in a discordant form of development.

Whilst I have concerns that the development would not accord with SP13 in principle, in respect of Policy SP16 - Design- these reservations with the proposal extend to the design as proposed. Whilst I appreciate that the condition of Ruffa Lane, and the size of the site and its topography have influenced the scheme, the resulting development would, be in terms of its view from Ruffa Lane, akin to ribbon development albeit with no frontage (since it is not clear whether the properties have their frontage inward facing or outward). I note also that a single access is proposed to the site, which is a not an unusual feature in itself, but, due to the height variation and the hedge, either the road would need excavation, or there will be a significant gradient to get onto the higher land of the site.

Policy SP20- Generic Development Management Issues, covers Character, Design, Amenity and Safety and Accessing parking and Servicing. In respect of the considerations on this site, new development is expected to respect the character and context of the immediate locality and the wider landscape/townscape character in terms of physical features and the type and variety of existing uses. I consider that the lack of integration with the existing built form, the evaluated and exposed position of the site will result in a discordant, visually prominent development in what is within the Fringe of the Moors Area of High Landscape Value, which - as discussed in an earlier paragraph, is identified for its attractive qualities, and landscape sensitivities. In terms of access, parking and serving, the Highway Authority have raised concerns about the proposal (which included the extra information which was provided at the meeting).

"Whilst it is recognised that the carriageway widening and footway provision are proposed along Ruffa Lane, I have concerns that additional traffic from the proposed development will have a significant detrimental affect on highway safety by reason of additional vehicle turning movements having to negotiate the right-angled bend leading into Whitfield Avenue at the Ruffa Lane junction.

Any widening of Ruffa Lane will likely significantly reduce available visibility from existing individual access on the north side. At the junction close to Whitfield Avenue the existing carriageway width is only 3.5 metres and may require alteration to not only cater for passing vehicles, but turning vehicles into and vehicles waiting to exit Ruffa Lane.

The development would intensify pedestrian activity along Ruffa Lane, and I would need to be satisfied that any scheme would include measures to improve the walking desire line at this location.

However, until the issues highlighted above can be satisfactorily resolved, I cannot support development of this nature due to the detrimental impact it would have in the immediate public highway network.

Any subsequent detailed proposals that may come forward would need to be accompanied by a Transport Assessment which should also look at the impact on the A169 and A170 junctions.

Internally, the site should be served by an adoptable highway layout with adequate visibility onto Ruffa Lane. Satisfactory means of disposal of highway surface water should be put forward at an early stage. "

Should a planning application be submitted, it should be accompanied by a Transport Assessment, but I have concerns that there is not sufficient land within the currently area of highway without requiring land which is not in the public highway, but privately owned, and not necessarily owned by the applicant.

Other policy considerations would need to be taken into account and their relevance to your client's scheme, should an application be submitted, would be:

Policy SP3- Affordable Housing- in respect of the delivery of 35% on -site affordable housing. The Council's housing team have outlined their position regarding a submission and that would be based on at 30 units, 10.5 units, with 10 units on site, and the 0.5 unit provided as a commuted sum, based on a two bed house at market value, less the transfer price. Expected to be 80% social affordable rent tenures and 20% for intermediate tenures. Any intermediate housing would be expected to have the same standard specifications as the market housing.

Policy SP4- Type and mix of new housing, to ensure that the resulting development contributes to provision of a balanced housing stock, in terms of sizes, and number of bedrooms, and ensure a well-designed inclusive scheme.

Policy SP11- Community Facilities and Services- whilst no on-site formal children's play space will be required for a scheme of less than 50 dwellings, and any scheme would be subject to CIL, and there would be an expectation that any development would be expected to have an appropriate level of amenity landscaping space.

Policy SP12- designated heritage assets are in terms of their setting of considerable distance from the site, with intervening development. It is noted that archaeological features are described as being within the immediate vicinity. Work undertaken by the Heritage Unit at the County Council, for the Development Plan production identified that: *This is an area with potential for remains and finds of the prehistoric and Roman periods, along the northern edge of the Vale of Pickering and extending upon onto the higher ground to the north. Recent archaeological work south of the town has recorded evidence for late prehistoric and Roman period track ways and fields and settlement enclosures. The HER also records a number of finds of earlier prehistoric date which suggest prehistoric settlement and burial activity in this area. Advise geophysical survey to be followed by trial trenching to clarify the nature and significance of any archaeological remains.* On that basis, archaeological evaluation would be required.

Policy SP14 -Biodiversity- This is in respect of the current hedgerows, and whether any surveys are required, I suggest that you contact Don Davies, in the Place Team to advise you don.davies@ryedale.gov.. In the first instance, a bird survey is likely to be necessary, for considering the impact on the Golden Plover, who can forage and loaf on farm land, and this is a species identified as a reason for the North York Moors SPA designation.

Policy SP15 - Green Infrastructure - The presence of the existing hedgerows, and the development of Green Infrastructure Corridors would be expected in a scheme where hedgerows are an important element of the landscape character, and for their ability to form integrated developments where biodiversity and recreational activity enhance the development.

Policy SP17- The site is within Flood Zone 1, but since it is 0.99ha in size, I suspect that the Environment Agency would request that the site is subject to a Flood Risk Assessment. This is in part because running in a broadly north south alignment, across the eastern side of the site is medium to high risk of surface water flooding in a channel. Both our Local Plan Strategy, and the NPPF refer to the need to consider, sequentially,

the impact of all forms of flood risk on development.

Policy SP22 Planning Obligations, Developer Contributions and the Community Infrastructure Levy (CIL)- Pickering, as a higher value area, is subject to a CIL charge of £85. On-site general amenity open space would be expected, paying regard to SP15 and SP11.

Conclusion:


On the basis of the above, whilst the site could be viewed as being adjacent to Pickering, and therefore compliant with both policies SP1 and SP2, and deliver c 10 units of affordable housing, it is considered that this benefit would not outweigh the adverse impacts of the development to the character and landscape of this part of Pickering, primarily because of the site's lack of clear integration with the existing built form of Pickering, and because of the site's topographical variations, and landscape sensitivity. The Local Highway Authority are also concerned with the identified access to the site, and the measures needed to make a satisfactory scheme in this regard.

We are in the process of calculating the 5 year land supply position for 2017-18, but the 2016-17 figure was 5.85 year's supply, trajectoryed, and indications on the work for 2017-18 are that we will continue to have in excess of five years supply of housing land. This means that all the policies of the Development Plan have full weight, and with the concerns identified on the site, it is not a site where Officers would be supportive of residential development, for the reasons identified above. As such, due to the concerns regarding landscape, design and access, in respect of Policy SP19- Presumption in Favour of Sustainable Development, the proposal is not considered to accord with the Development Plan, and that the matters of concern are unlikely to be mitigated.

Whilst you will appreciate that the response to the pre-application is not supportive, I wanted to take this response letter to advise you that Ryedale District Council recently adopted a Local List for Validation of Planning Applications, and this would provide guidance on the nature and level of information which would be required in order to validate any planning application. It can be found on the Council's website.

I trust that these comments are helpful, but must stress that they represent an informal, officer opinion only, and do not commit the Council in any way or prejudice any decision that a Planning Committee may reach should you submit an application.

Yours faithfully

 Rachael Isalmer